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Historic Building Assessment **Peterborough Town House** Peterborough, New Hampshire



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Peterborough Town House Historic Structure Report

History and Development of the Property

The Peterborough Town House was built in 1918. It replaced an earlier Town House that was built on the same site in 1860 and then significantly modified in 1886-1887. That structure was damaged by a fire in 1916. The damage to the building was so significant that the decision was made to demolish it and build the current Town House. It has remained the seat of Town government throughout its history.

In 1995, the Town House underwent significant renovations to the first floor, and a small addition was constructed at the northwest corner of the building to make the second floor Auditorium accessible from Main Street. The first floor renovations included reworking of office spaces, the addition of public restrooms, and the construction of an entry vestibule on the north side of the building that made the first floor accessible from the front plaza.

In 2012, a new pellet boiler was installed and upgrades were made to the heating system. The attic was also insulated with blown-in cellulose at that time.

The Town House was designed by Benjamin F.W. Russell. He was also the architect for the nearby Guernsey Cattle Club Building and the Historical Society Building.

Architectural Description

The following description of the Peterborough Town House is taken from the 1996 National Register of Historic Places Nomination Form.

The Peterborough Town House, located at the corner of Grove and Main Streets, is an imposing Colonial Revival structure which dominates the downtown. It is a rectangular brick building with a slate-sheathed gable roof. The ground floor, housing offices, has the exterior appearance of a raised basement separated from the meeting hall above by a stone beltcourse. The sloping site allows for full height entrance doors on the front (east) elevation, while the rear (west) elevation consists of only a couple of feet of exposed wall beneath the beltcourse.

The front (east) façade, facing Grove Street, is divided into five bays. On the ground floor these are expressed by five full-height round-headed openings. The three central bays are composed of recessed paneled double-leaf doors with semicircular fanlights above. The outer-most bays are multi-paned windows. Each of the five is adorned with a keystone. Pilasters carrying a full modillioned entablature dominate the upper level of the front elevation. These fluted pilasters with Corinthian caps are found between each bay and at the corners for a total of six. They serve to separate the five bays of the façade. The central three bays are characterized by an eight over twelve sash window above the beltcourse with a 28/28 sash window with fanlight window over that, lighting the upstairs auditorium. The corner bays include eight over twelve windows above the beltcourse with

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round-headed niches overhead. The triangular pediment with full entablature frames a brick tympanum with a round window in the center. Dentils and modillions elegantly embellish the pediment. The design culminates in an octagonal lantern on the ridge, resting on a square base with quoin motifs.

The beltcourse reads on the side (north) elevation, and indeed around the entire building. Beneath it, there are four 12/12 double hung windows along the eastern half of that elevation; a fifth such window located in the center has been converted to a door as part of the 1995 rehabilitation. Above the beltcourse the seven bay elevation includes five 28/28 light sashes with fanlights in the center, each with a four over four rectangular window beneath it. Each of the end bays includes a blind recessed round-headed brick panel over an eight over twelve light sash, flanked by brick pilasters. On the west end of this side of the building is a new secondary entrance addition constructed of brick with a gable roof. The south elevation is similar in design.

While not mentioned in the above description, another important feature of the exterior is the wide plaza at the main entrance. The plaza is elevated a few steps from the street, creating a feeling of formality and allowing the Town House to be even more imposing in its setting.

In addition to the lovely exterior features described above, the interior of the Town House has some noteworthy details, as well. The two-level entrance lobby with its elegant winding double stairs to the auditorium is adorned with decorative Corinthian columns and curved balustrades. A barrel vaulted plaster ceiling above the stairway adds to the formality of the space. While most of the interior of the first floor is not original, the second floor auditorium retains its original details. The plaster ceiling features a curved cornice and medallion light fixtures. The hardwood floor is laid in a unique octagonal pattern. Painted wood panel wainscoting graces the lower portion of the walls. The Corinthian pilasters and half columns of the proscenium support a classically detailed entablature. The smaller windows at the lower part of the walls have paneled wooden interior shutters. The elegant balustrades of the stairways are echoed in the balcony railing above.

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Statement of Significance

The following is excerpted from the Statement of Significance as it appears on the 1996 National Register Nomination Form.

The Peterborough Town House is eligible for the National Register under criterion A for significance in Politics/Government for the years 1918 – 1945, and under criterion C for significance in Architecture for the date of construction, 1918. It possesses integrity of location, design, setting, materials, workmanship, feeling, and association for that date. This elegant example of the Colonial Revival Style has been the seat of town government since its construction. A recent renovation will allow the building to continue to serve in that capacity.

This building replaced an earlier Town House constructed on the same site in 1860 and substantially modified in 1886-1887. A fire in 1916 badly damaged the structure, so much so that it was decided to clear the site and build anew.

This elegant brick structure is said to have been inspired by Faneuil Hall in Boston. Whether or not that is actually the case, the design's Colonial intentions are obvious. Typical of the Colonial Revival idiom, the building uses classical forms and details writ large compared to their previous applications during the early Republic. The building's massiveness and rectangular form fit the mold of this popular style of the early 20th century. Other features are also characteristic. For example, the use of arched openings, numerous large multi-paned windows, finely detailed cornices, and classical pilasters. Together these elements convey a dignified design well suited to the seat of town government.

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The East Facade



The North Facade

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The West Façade and the 1995 addition



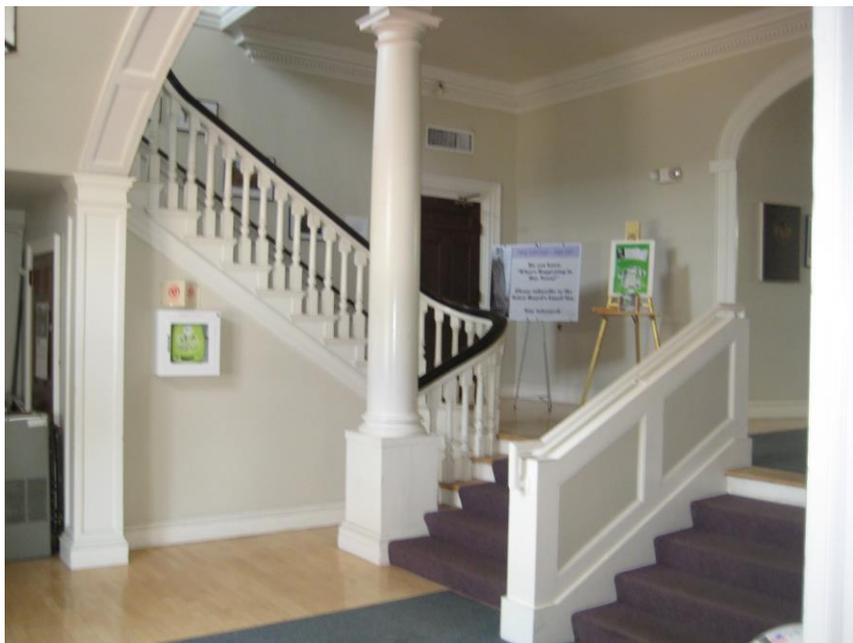
The South Façade

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The Entrance Lobby



Stair to the Second floor Auditorium

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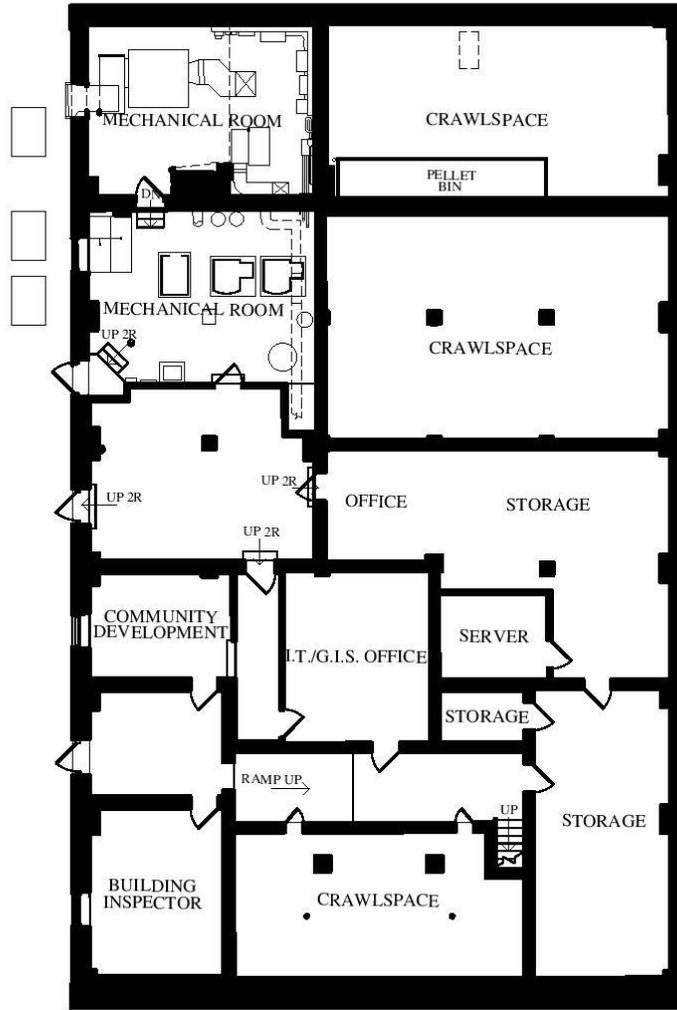
The Auditorium as seen from the Balcony



View of the Balcony from the Auditorium

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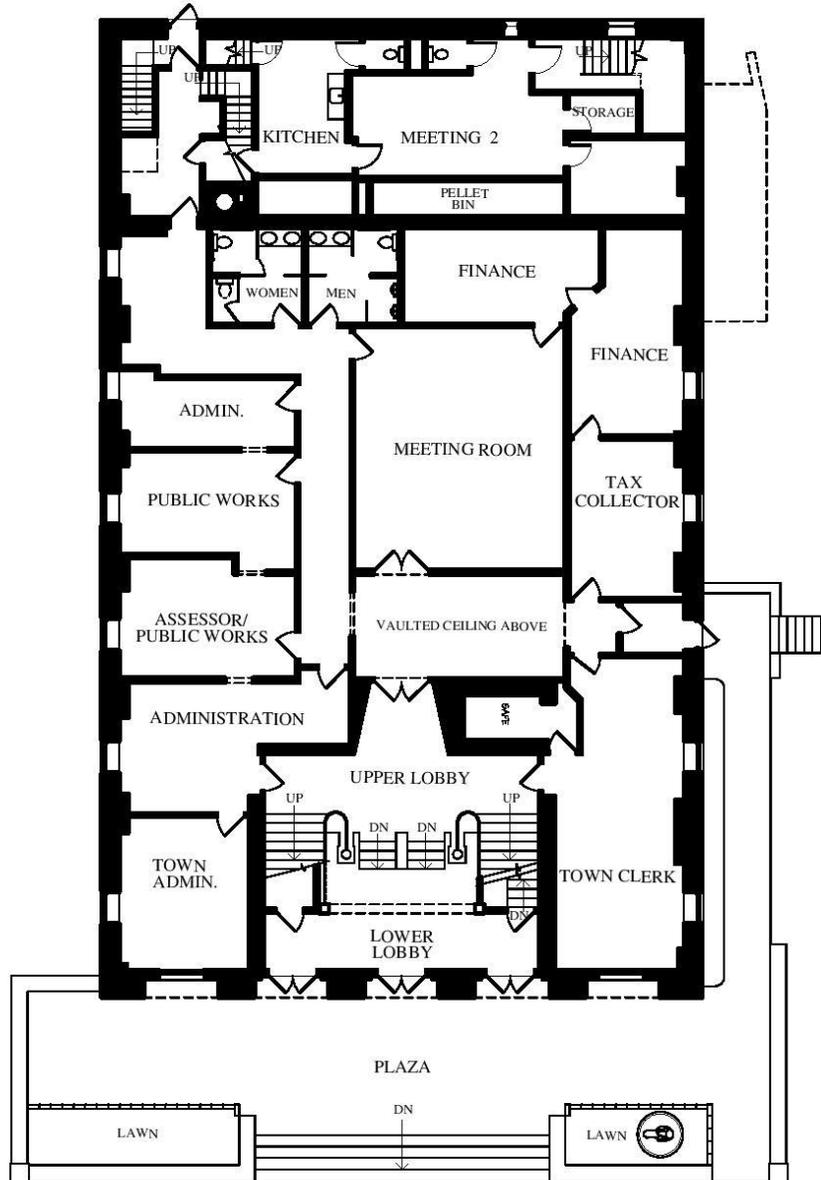


EXISTING BASEMENT FLOOR PLAN



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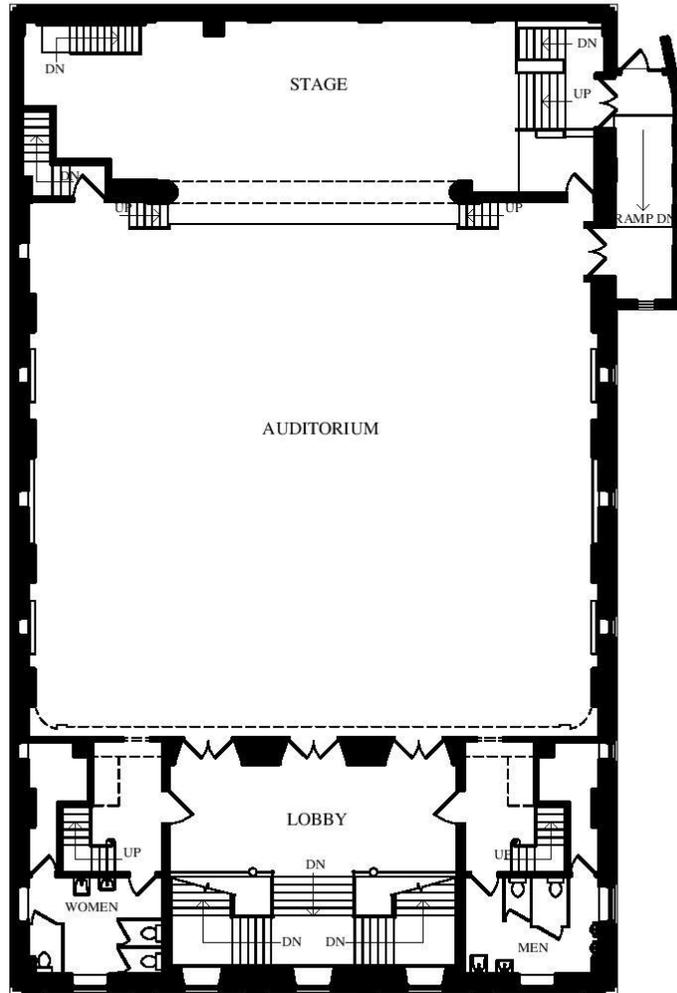


EXISTING FIRST FLOOR PLAN



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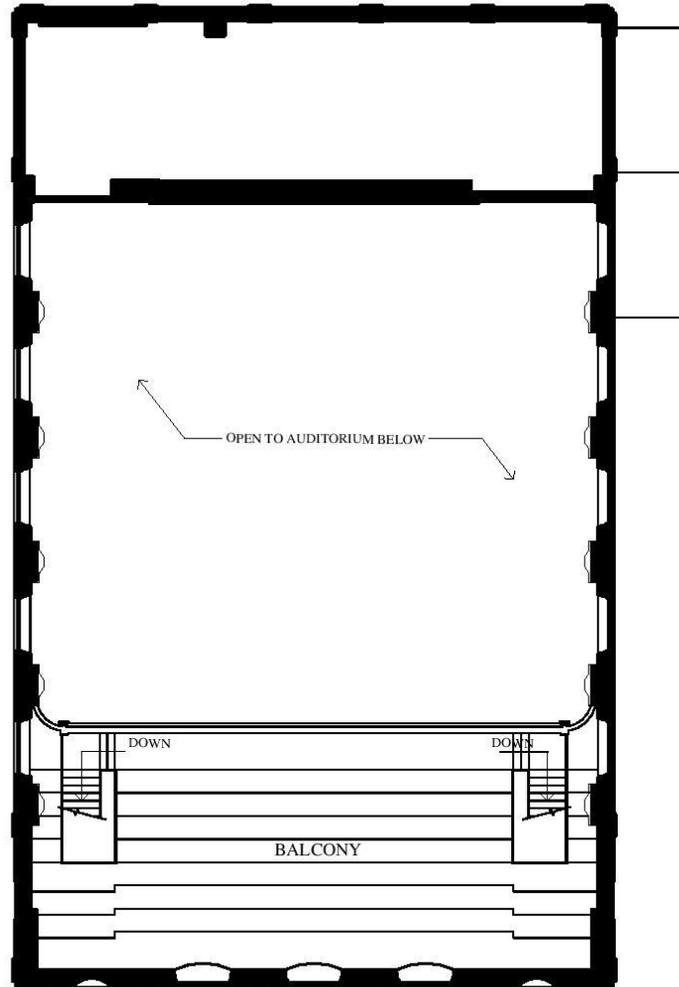


EXISTING SECOND FLOOR PLAN



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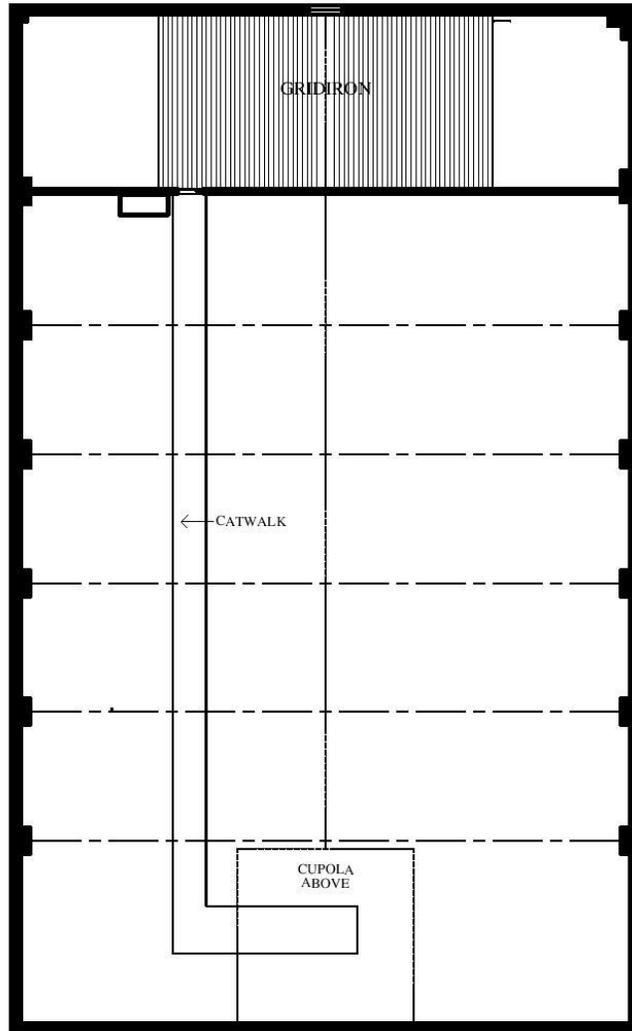


EXISTING BALCONY FLOOR PLAN

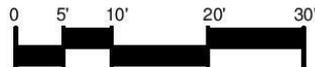


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EXISTING ATTIC FLOOR PLAN



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Character Defining Features

The character defining features of the Peterborough Town House are as follows:

- The prominent setting in the downtown at the intersection of Grove and Main Streets
- The elegant Colonial Revival entry façade with its classical detailing
- The arch top windows
- The cupola
- The brick and limestone of the exterior walls.
- The entry plaza.
- The two-level entrance lobby with its elegant stair network and Corinthian columns
- The auditorium with its high decorative ceiling, arch-top windows, proscenium stage, balcony, and octagon patterned wood floor.

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Existing Conditions Assessment

Exterior - Site

- The Town House is sited at the corner of Main and Grove Streets with its main entry at the east façade. The sidewalk along Grove Street is concrete with a brick border along the curb side. The granite curbs are in good condition. The concrete shows only minor cracking. The joint between the brick and the curb needs re-pointing. The sidewalk along Main Street is macadam. It is in fair condition and has been patched in at least three locations. There is some settlement and cracks in the blacktop. The curbs are depressed at the corner of Grove and Main and along the west side of the building.
- There is a concrete walkway leading to the northwest side entry that has several cracks. The concrete retaining wall on the south side of that walkway has some parging that is falling off. The concrete walk is 2 ½" thick over the concrete wall. The concrete and brick site wall at the north side of the ramp is in poor condition and in need of major repair or rebuilding. There are steel handrails of differing heights and designs along either side of the walkway.
- A set of granite steps leads down to an asphalt walkway along the west face of the building. The steps are in good condition. There is another single granite step midway along the walk. The second half of the walk has a granite curb edging. The walk leads to a set of concrete steps that reaches a fenced enclosure. There is a propane fired generator on a concrete pad over asphalt paving. The wooden stockade fence is in good condition; however, the north side of it is functioning as a retaining wall. A better detail needs to be employed here.
- The area of the site west of the walk and fenced enclosure is sloping lawn with three large tree stumps and a dry laid stone retaining wall. This area also has another wooden fenced enclosure housing the propane tank. That fence is a six foot wood stockade. A few of the pickets are loose and should be replaced. At the far northwest corner of the property, along Main Street, there is a granite bench dedicated to the memory of Wilfred J. and Irene Brassard.
- Along the north side of the building there is a short brick site wall. The condition is generally good, but it is in need of some minor re-pointing. A second short site wall to the east of the addition is not flashed. The area east of that wall, adjacent to the building, is filled with six inch rip-rap. A set of granite steps leads down from the Main Street sidewalk to the north entry door. The top riser and tread are brick. The steps have settled and should be re-set. The steel handrails do not have extensions at the top or bottom. The brick retaining walls at either side of the steps are in poor condition and need rebuilding.
- The brick walkway at the base of the steps runs east to the plaza at the east façade. The bricks are dry laid in a running bond pattern, and appear in generally good condition. The walk is bordered by granite curbing that is in good condition. The walkway slopes down a bit to the plaza. There is a steel railing on the north side of the walk. It was not clear from field observations whether the slope was steeper than 5 percent, which would trigger the need for ADA compliant handrails. There is an evergreen hedge at the north side of the walkway.
- The plaza at the east entrance to the Town House is paved with brick set in sand. The brick itself is in generally good condition; however, it has settled unevenly and should be re-set. The brick and concrete landscape wall at the north side of the plaza has a limestone cap. There are some open joints that should be caulked. The limestone base of the wall is a bit damaged and needs to be re-pointed and repaired. The brick above is spalled and cracked in a few dozen places and should be replaced. The plaza has two small areas of lawn on either side of the central granite steps. Those areas are separated from the hardscape by borders of

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cobblestone. The granite steps are in reasonably good condition, but the top step should be re-set. There is one steel handrail at the center of the steps. It was noted that the main entrance could be made accessible if the level of the plaza were raised about 5 inches. The brick and granite landscape wall along the Grove Street side of the plaza is in need of some re-pointing, and the joints in the limestone cap require caulking. The landscape wall at the south side of the plaza is also brick and concrete with a limestone cap and base. This is the only wall that has lead cap flashing below the limestone cap. The joints in the cap are mortared, but some need re-pointing. The limestone base is spalled at the southwest corner. The south side of this wall has four commemorative plaques, two of which are recessed and two of which are surface mounted. The brick is in good condition but the limestone cap should be re-set.

- Along the south side of the building, there is a concrete paver walkway that is bordered by a granite curb to the south. This walkway slopes down to give access to two entrances at the basement level. Brick and concrete site walls flank the walkway along the north and south sides. The walkway opens up at its western end to form the patio area known as Goyette's Garden, which is a rain garden. The north side wall encloses the raised Thomas Garden. All of the landscape walls in this area are in good condition. There are 12" diameter area drains at either end of Goyette's Garden, as well as outside of the door to the Mechanical Room. Four air handling units for cooling sit to the west of the Mechanical Room. Wood frames around the units are seasonally covered for temporary protection from the snow sliding off of the slate roof. An oak tree to the south side of the south site wall has branches that are fairly close to the building, and a cedar is overhanging the area with the commemorative plaques. There is electrical conduit that penetrates through the south wall to feed two exterior wall packs on the landscape wall.

Exterior – South Wall

- The windows are double hungs in good condition. The window sash were bi-glazed in the late 1990's and reconditioned in 2013.
- The painted window trim is in good condition. Roof trim is in good condition, but shows some paint loss near the downspouts where they penetrate the eave. The copper downspouts go into underground pipe that likely is connected to the patio site drainage system. The top four feet of both downspouts was replaced recently.
- Brick and joints are in generally good condition. Some minor re-pointing is needed at the lower 8" of the wall. The brick is fairly clean, with some ghost painting in the west bay outside of the stage area. The mortar joints are struck flush, not tooled.
- The two eastern – most doors into the basement are flush metal doors in steel frames with wood trim and fixed wood transoms. The doors have insulated glass lites. The brick walk at the center door needs to be re-set to make the entrance accessible. The finish on the lever handle locksets is in poor condition. The locksets need to be repaired or replaced. The Mechanical Room door is a wood stile and rail door with insulated glass and true divided lites. The weatherstripping and hardware are in good condition.
- The limestone beltcourse is in good condition. The mortar joints at the top of the beltcourse should be inspected from above to see if any re-pointing is needed.
- The joint between the landscape wall and the building at the southeast corner needs repair.
- Electrical conduit that feeds two wall packs penetrates through the wall from the interior of the building and extends down a length of the exterior. This should be relocated to the interior, as much as possible.

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Exterior – East Wall

- Brick is in generally good condition. Some re-pointing is needed on the lower four feet of wall on the south side. There is some paint ghost visible below some of the windows.
- The four inch high limestone base is in generally good condition, with just a few chips in it.
- The limestone cornerstone needs to have its joints re-pointed
- The limestone beltcourse and the keystones appear in good condition, but the beltcourse should be inspected from above.
- The plaster recesses appear in good condition but the sills should be checked from above.
- Windows are in good condition.
- The wood trim at the roof appears in good condition.
- Paint at First Floor door and window recesses needs touch-up.
- The cupola was painted in 2014 and is in good condition. The copper roof of the cupola is also in good condition, as is the weathervane.
- The doors are wood stile and rail. The right and left pairs are original. The moulding at the panels has lost some profile due to wear and tear and buildup of paint. The doors have new weatherstripping. Exit devices need to be replaced. The granite thresholds are in good condition. Two of the fanlights are painted white on the inside because of a conflict with the ceiling. The fanlights are single glazed.
- The exterior light fixtures are very small and out of scale with the architecture. The 1996 photograph that accompanied the National Register nomination, which is attached at the end of this report, shows two much larger fixtures more in keeping with the building's scale.
- It was noted that the large banner hung above the entrance does not hang evenly. Perhaps a different type of hardware or more uniform size banners would alleviate the problem.

Exterior – North Wall

- Two copper downspouts feed into PVC pipe at grade. The top four feet of the downspouts was recently replaced.
- The limestone beltcourse is in good condition, but the joints on the top should be inspected from above.
- Brickwork is in need of repair for the lower two feet of coursing at nine feet from the northeast corner.
- The joint between the landscape wall and the building wall west of the entry door requires re-caulking
- Some limited repairs are needed at the brick joints near the entry door and at the lower planting bed.
- The sills at the basement windows have had wood faces added to them at some point and the joint between the original sill and the newer front has opened up. The joint between the wood and the masonry in that location needs to be caulked.
- There is paint ghosting on the brick below some of the windowsills.
- The roof trim is in good condition
- The three foot wide planting bed along the edge of the building is causing splashback.

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Exterior – North Addition

- The brick and concrete retaining wall at the ramp has bricks with face cracks both horizontal and vertical. There are no weepholes and no cap flashing.
- The exterior wood stile and rail door is in poor condition. It is weatherstripped improperly. The joints between wood and brick require caulking.
- The joints around the sprinkler drain and the Siamese connections need caulking.
- The copper roof, gutter and downspout all appear in good condition.
- The handrail connection at the wall is loose.

Exterior – West Wall

- The brick is in generally good condition. Some minor re-pointing is needed adjacent to the sidewalk.
- The limestone beltcourse is generally in good shape, but needs one open head joint caulked at the ramp handrail.
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-
- The north – most basement window has concrete at the sill where it meets the pavement. The concrete is spalled and requires repair or replacement.
- The three southern – most windows at the basement level have wood sill fronts similar to those on the north window. The joints are opened up in a similar way. The joints between the wood and masonry require caulking. The second basement window from the north needs new parting beads, as well.
- Joint between wood sills and brick need caulking
- The semi-circular windows above the stage are in good condition. The Plexiglas protective covers are yellowed and should be replaced.
- The circular window in the gable is in good condition, but the wood trim is pulling away from the brick.
- The exterior door is flush steel in a metal frame with a wire glass vision panel and is in good condition.
- The copper flashing at the rake return should be inspected.
- The steps and the railings need to be re-worked.

Exterior – Chimney

- The chimney appears to be in good condition with the exception of the top few courses of the masonry, which need repointing. The concrete cap is cracked and should be replaced. There are a number of flues inside the chimney that are no longer active. These should be capped off.

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Exterior – Roof and Flashings

- Guyer & Son Roofing has been performing ongoing maintenance to the roof of the Town House for quite a number of years. They replace, on average, 30 slates a year. Dale Guyer's recommendation is to replace the entire slate roof in the not too distant future. At nearly 100 years old, it is at the end of its useful life. The slates are deteriorating from long term exposure to heavy snow loads over the years. He also recommends replacing the built-in copper gutters, which have been problematic, with new gutters better equipped to manage the large amount of roof runoff.

Interior – First Floor

Lower and Upper Lobby

- The walls and ceiling are painted plaster in generally good condition. The hardwood flooring shows some wear and scratches. The carpet stair runners are worn. The vertical meeting joints on the decorative columns are telegraphing. The paint on the main entry doors is scuffed. The finish on the wood stile and rail doors at the upper lobby is worn. The right hand leaf is split at the bottom rail. The kickplates on all of the doors are quite scuffed and scratched. The floor mounted heaters need cleaning.

Front Stairways to Second Floor

- The carpet runner over the wood treads and risers is in good condition. The paint on some of the wood balusters is chipped in some locations. The lacquer finish on the handrails is worn. The paint is slightly scuffed around the handrails along the walls. There is a painted plaster barrel vault ceiling over the stair that is in reasonably good condition.

Meeting Room

- The painted plaster walls, woodwork and suspended acoustical tile ceiling are in very good condition. The glued down carpet and hardwood border are in good condition. There is a missing escutcheon plate at one of the sprinkler heads and a loose plate at a second head.

Administrative/ Assessor/Public Works Offices

- This suite of offices on the south side of the first floor has painted plaster walls and woodwork, both in very good condition. The carpet flooring is, likewise, in very good condition.

Southwest Vestibule

- The painted drywall ceiling, walls and woodwork are in fair to good condition. The carpet has some minor stains in places. The inner vestibule door, door to the stair and the rear exit door are painted metal in good condition. The inner vestibule door does not have a closer. One wall is gouged a bit.

Southwest Stair

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- The painted plaster walls and ceiling, and the painted woodwork are in good condition. The hardwood treads are covered with safety treads that are paint spattered, and one safety tread is missing.

Kitchen

- The painted drywall walls and painted woodwork are in reasonably good condition. The suspended acoustical tile ceiling and carpet are also in fairly good condition.

Meeting Room 2

- The ceiling and two of the walls are painted decorative pressed metal, while the two remaining walls are painted drywall. While most of these are in reasonably good condition, there is some damage to the paint around the pellet bin access door. There is some exposed piping in this space, most of it is painted. There is also an exposed, insulated duct riser in this room. A section of fin tube cover is missing along the west wall.

Men's and Women's Rooms

- Both of the public restrooms have painted plaster walls and woodwork. The flooring is ceramic mosaic tile. The toilet partitions, fixtures and finishes are all in good condition.

Tax Collector/Finance/Town Clerk

- This suite of offices along the north side of the building has suspended acoustical tile ceilings, painted plaster walls, painted woodwork, and carpet, all in very good condition. There is a painted plaster barrel vault ceiling above the wide corridor that leads into these offices. There is a door leading to the exterior from this corridor. Presently, this is the only accessible entrance at this level.

Interior – Second Floor

Second Floor Lobby

- This space has painted plaster walls and ceiling in good condition. The painted woodwork is in fairly good condition, although some of the balusters have some chipped paint. There is also chipped paint at the bases of the decorative columns. The hardwood floor is somewhat scuffed and scratched.

Auditorium

- The pair of wood stile and rail entry doors at the center location are somewhat damaged at their bottom rails, and their transparent finish is worn. The flanking pairs of doors are in similar condition. The painted decorative plaster ceiling is in good condition. The decorative plaster ceiling light fixtures are missing some light bulbs in places and are in need of repair. This will necessitate removing them from the ceiling and re-installing them. The hardwood floor, which is laid in a decorative octagonal pattern, is scratched and

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scuffed. The painted woodwork and wainscoting and painted plaster walls are all in good condition. There are some acoustic panels mounted on the east wall of the Auditorium whose fabric covering is a bit stained. The pair of wood doors at the northwest corner of the room that lead to the entry vestibule measure only 30" wide per leaf. This is presently the only accessible entrance to this level. These doors are in only fair condition. They do not meet properly when closed, likely due to some weatherstripping that has been added to them. The return air grilles at the face of the stage are in need of cleaning, and one of them is damaged. The windows are bi-glazed. The lower windows have operable wooden shutters at the interior, while the upper windows have curtains, at all but the upper archtop, for room darkening. Building occupants expressed some concern about the adequacy of the floor structure in this space due to the visible motion of the ceiling mounted projector in the Meeting Room below when the Auditorium is occupied. The floor structure has been reviewed by a structural engineer. His report is attached (Appendix B).

Stage

- The wood nosing at the front edge of the stage is badly damaged. The hardwood floor is scuffed and scratched. The rear curtain has a small tear in it that has been partially duct taped together. There is manual rigging with approximately 12 lines and 12 pipes above. The rigging is not counterweighted. It is tied off stage right. There are some theater fixtures presently mounted on some of the pipes, as well as a few in the auditorium. There is a full gridiron above the stage. The stage is presently only accessible by way of a stair lift from the northwest entry vestibule.

Northwest Entry Vestibule

- The walls are exposed, unpainted brick. The sloped floor is concrete with a broom finish. The ceiling is painted drywall. The exterior wood door is in poor condition. One window has a cracked pane of glass. The transition from the concrete floor to the wood floor of the Auditorium is uneven. The wood handrails on either side of the ramp do not return to the walls.

Women's Room and Men's Room

- The VCT flooring, painted woodwork, painted plaster walls and ceiling are in reasonably good condition in both of these spaces; however, there is a spot of peeling paint near the light fixture in the Men's Room. The toilet partitions are scraped and scuffed. The plumbing fixtures are in reasonably good condition. The wall mounted non-handicap sink in the Women's Room is pulled away from the wall a bit and the gap needs to be caulked. The wood door frame at the Men's Room is damaged. There are stains on the covers of the baseboard heat below the sink in the Men's Room. The wall mounted soap dispenser in the Women's Room is quite out of plumb.

Interior – Balcony

- The wood flooring is scuffed and worn. The clear finish on the railing is badly worn, and the paint is somewhat chipped on the balustrade. There are two vertical pipes at either side of

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the balcony for mounting lights. There are no exit signs present. The balcony is not presently accessible.

Interior – Basement

Stair

- The wood stair treads and landing are worn. The painted, sloped plaster ceiling provides barely adequate headroom. The walls are exposed, unpainted brick. There is a missing light fixture. There is a surface mounted electrical panel on the north wall, with an exposed drain pipe adjacent to it. The wooden platform at the south side is used for storage of snow shovels and sand buckets. The stair has an unfinished quality about it that is in stark contrast to the highly decorated Lobby from which one enters it.

Corridor at base of Stair

- The walls are exposed, unpainted brick. The floor is carpeted. There are two painted wood access panels in the east wall that allow access to a crawlspace. The ceiling is painted plaster and there are some exposed painted pipes.

I.T./G.I.S. Office

- The walls are exposed, unpainted brick with the exception of the south wall, which is painted drywall. The carpet is worn. The painted woodwork is a bit scuffed. There is no natural daylight in this space. It was noted that the two ceiling mounted fluorescent light fixtures were not turned on, and that the only source of light was from floor lamps and some desk lamps. The occupants of the space explained that the light from the overhead fixtures creates too much glare on the computer screens.

Storage

- The walls are exposed brick and the granite of the foundation. The floor is unsealed concrete. The ceiling is unfinished drywall. It was noted that the humidity level in this large space felt unsuitable for the large amounts of paper archives that are stored here. During the course of the site visit, a heavy rainstorm occurred and water poured through the granite wall on the north side, rapidly flooding the space and the corridor outside.

Server Room

- This room is partitioned off inside of the Storage space. It is air conditioned and has a dehumidifier to ensure the wellbeing of the equipment.

Community Development

- The suspended acoustical tile ceiling has some water damaged tile. The leak that caused the damage has been corrected. The carpet is somewhat worn. The painted plaster walls and woodwork are in fairly good condition.

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Basement Level Entry

- The carpet is somewhat worn. The painted plaster walls and woodwork are in reasonably good condition; although there is some significant water damage to the west wall adjacent to the entry door. The source of the water damage has been corrected. The suspended acoustical tile ceiling has one or two water damaged tiles. This is the only accessible means of entering the basement spaces.

Building Inspector's Office

- The suspended acoustical tile ceiling is in good condition, but there is one water damaged tile. The carpet is somewhat worn. The painted plaster walls and woodwork are in fairly good condition.

Interior – Attic

- The attic space is in good condition, and was recently insulated. However, access to the space is problematic. Currently the gridiron above the stage is accessed by means of a 40 foot ladder. One then crawls through an access hole onto a narrow catwalk above the ceiling, and across the length of the building to the attic space under the cupola.

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Damaged parking at the ramp retaining wall



Missing slats at the fence around the propane tank



Area of rip-rap at the north side of the building. This is the approximate location of the leak observed at the time of the site visit

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Retaining walls in need of repair at either side of north stair



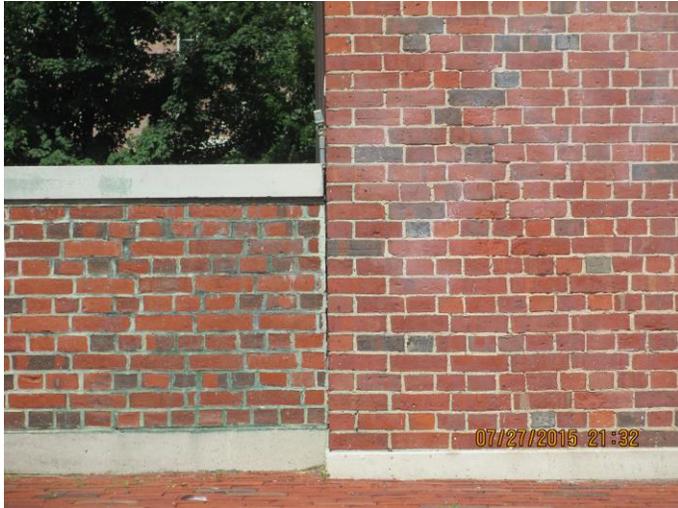
The limestone caps of the landscape walls have open joints that need caulking



Spalling and efflorescence at the north landscape wall

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Joints between landscape and building walls need caulking



The oak tree at the south side of the building needs trimming

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Brick walkway at basement entry door needs to be reset to meet accessibility requirements



Electrical conduit to be moved on the south wall

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The fanlights over two of the entry doors are painted white on the interior



The exterior light fixtures are not in proportion with the scale of the building

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The joints around the cornerstone need re-pointing



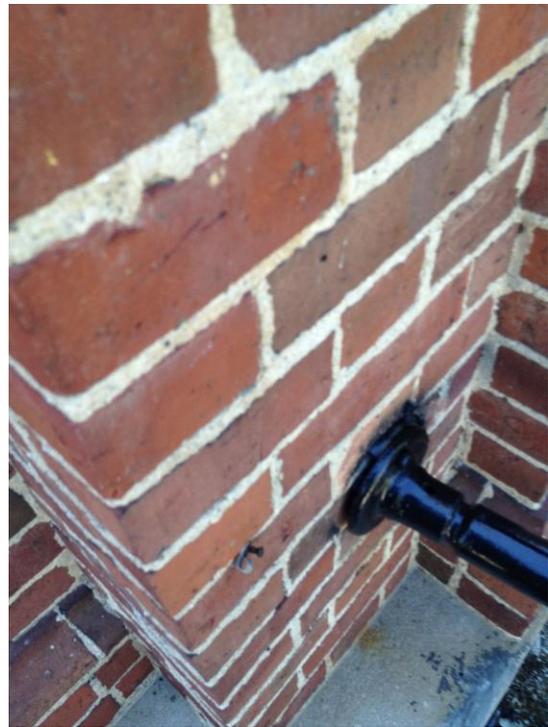
Damaged sill at basement window

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Brick damage at the north addition



Loose connection at north addition handrail

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Damaged wall at the north addition



Damaged chimney cap and brick joints



Joint damage at the north addition

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Grilles at Lobby Heater need cleaning



Damaged lower rail at lobby door



Worn wood flooring at the Entrance Lobby

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Stained carpet at southwest vestibule



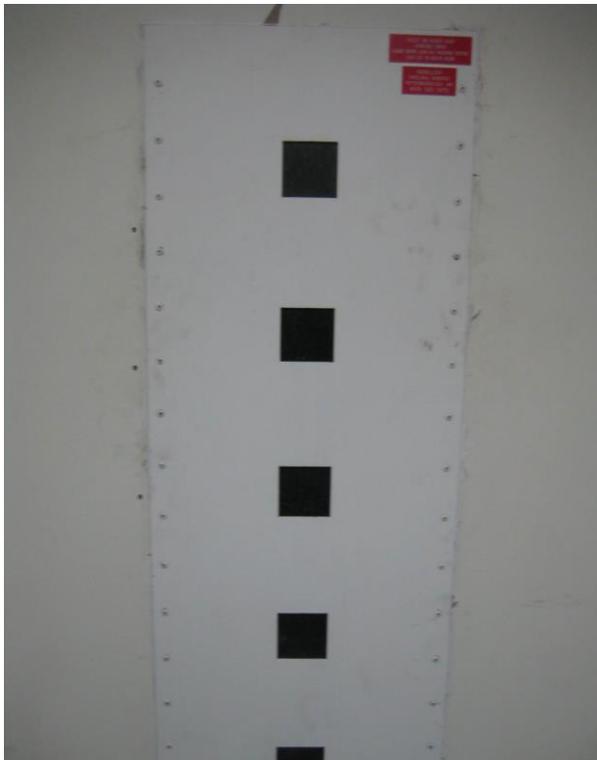
Missing safety tread at southwest stair

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Missing cover piece at baseboard heat in Meeting Room 2



Damaged paint near pellet bin access door

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Damaged bottom rail at Auditorium door



Missing bulbs at ceiling fixture in Auditorium



Doors at northwest entrance to Auditorium are not ADA compliant and are in poor condition



Damaged return air grilles at face of stage

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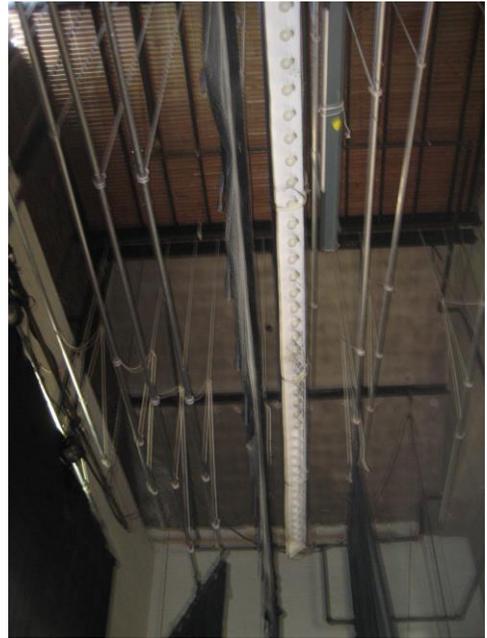
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Small tear in stage curtain



Damaged nosing at edge of stage



The manual stage rigging is not counterweighted

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Northwest entry door is in poor condition



Uneven transition at northwest entry floor



Handrails at northwest entry do not return to the wall

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Sink at 2nd floor Women's Room is pulling away from the wall



Damaged door frame at Men's Room



Peeling paint at Men's Room ceiling



Worn finish on Balcony Floor

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Missing fixture at Basement stair



Floor lamps in the I.T/G.I.S. office



The Storage Room

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Water damaged ceiling tiles at basement south entrance



Water damage at basement south entrance



Water damaged ceiling tile in Building Department office

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Recommendations

Introduction

- The recommendations made herein comply with the Secretary of Interior Standards for Rehabilitation, as well as the International Existing Building Code 2009 and Life Safety NFPA 101 2009, as is currently adopted by the State of New Hampshire. The Secretary of Interior Standards are included in Part 4 of the report, along with the Preservation Briefs Guidelines for various aspects of work.

Sitework

- Drainage along the north wall of the building is a problem. Flooding of the basement occurred, by way of water pouring through the granite foundation wall in the storage room, at the time of site visit. Water was observed pouring out of the gutter to the ground midway between the downspouts, in the approximate location of the leak. The roof run-off needs to be managed more efficiently with new gutters designed to accommodate the large amounts of it. Site drainage to capture the water from the downspouts should be provided to direct the water away from the foundation wall. Work performed to remediate these problems should comply with the recommendations of Preservation Brief 39, Holding the Line: Controlling Unwanted Moisture in Historic Buildings (Appendix A)
- The oak tree on the south side of building should be trimmed to keep the limbs away from the building to eliminate clogging of the gutters from the leaves.
- The cedar tree on the south side of the building should be trimmed where it is overhanging the commemorative plaques.

Concrete

- The failed concrete parging on the retaining wall at the northwest entry vestibule needs to be removed and the wall should be re-parged.

Masonry

All of the recommended re-pointing work should be done in accordance with the recommendations of Preservation Brief 2. Repointing Mortar Joints in Historic Masonry (Appendix A)

- The brick veneer at the concrete and brick retaining wall at the north side of the ramp needs major repairs or rebuilding.
- The short brick landscape wall on the north side of the building needs some minor re-pointing.
- The two brick retaining walls on either side of the steps to the north entry need to be rebuilt.
- The granite and brick top step at the east side of the plaza should be reset. All of the plaza brick should be reset

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- The limestone base of the landscape wall at the north side of the plaza needs to be repaired and repointed. There are some areas of brick above that should be replaced.
- All of the limestone caps on the landscape walls should be reset over copper cap flashing.
- The brickwork at the lower 8 inches of the south exterior wall of the building requires some minor re-pointing.
- All of the top joints in the limestone belt course should be checked and re-pointed if necessary.
- Joints between building walls and landscape walls need caulking.
- Brickwork at the east building facade should be re-pointed at the lower four feet of coursing on the south end of that façade.
- The joints around the limestone date stone on the east façade need re-pointing.
- At the north façade, the brickwork should be repaired for the lower 2 feet of coursing 9 feet from the northeast corner. Some minor repairs should be made to the joints near the basement door and at the lower planting bed.
- At the west façade, minor re-pointing of some joints adjacent to the sidewalk should be done.
- The top courses of the chimney require re-pointing, and the cap needs to be replaced.

. Finish Carpentry

- The sill fronts at the basement windows on the north and west side should be replaced with joints between old and new carefully scribed and biscuit-joined.
- The stockade fence around the propane tank needs a few of the slats replaced

Thermal & Moisture Protection

- All of the joints where wood trim abuts brick should be checked and re-caulked if needed.
- The joints around the Siamese connection and the sprinkler drain need to be caulked.
- Copper flashing at the gable return on the west façade needs inspecting and repair or replacement where warranted.
- The slate roof and built-in gutters should be replaced. This work should be performed in accordance with the recommendations of Preservation Brief 29, The Repair, Replacement and Maintenance of Historic Slate Roofs (Appendix A)

Doors & Windows

- The damaged door at the upper lobby at the main entrance should be replaced.
- A closer should be installed on the inner door at the southwest vestibule.

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- The three pairs of doors between the second floor lobby and the auditorium need to be replaced.
- A new door with a fixed side panel should be installed at the northwest corner of the auditorium to replace the existing pair of doors. The door leaf should have a minimum width of three feet to meet accessibility requirements.
- The exterior wood door and side panel at the northwest vestibule should be replaced with a new door and side panel.
- Panic hardware at front entry doors needs to be replaced.
- All of the exterior door hardware should be inspected for proper operation and condition and replaced as necessary. All of the locksets should be replaced with card reader sets, in keeping with the other municipal buildings in town.

Finishes

Recommended finish work should be done in accordance with the recommendations of Preservation Brief 18, Rehabilitating Historic Interiors, and Preservation Brief 28, Painting Historic Interiors (Appendix A)

- The wood flooring at the lower and upper lobby should be sanded and refinished.
- The carpet runner on the stairs between the lower and upper lobbies should be replaced.
- The balusters on the main stairs to the second floor should have the paint touched up where it is chipped. The handrails should be lightly sanded and refinished.
- While some of the carpet is still in good condition, most has been in place since the 1995 renovations, and should all be replaced.
- The safety treads on the southwest stair to the second floor should be replaced.
- The balusters and columns at the second floor lobby should have their paint touched up where it is chipped at the bases.
- While the painted surfaces in the auditorium are in decent condition, this space would benefit greatly from a decorative paint job that would highlight all of its nicely detailed features.
- The wood flooring in the Auditorium, Lobby and Stage cannot be sanded any further. It should be replaced, in kind, entirely.
- The ornamental plaster light fixtures in the Auditorium will need to be removed and put back in place after being repaired. Work on these fixtures should be performed in accordance with the recommendations of Preservation Brief 23, Preserving Historic Ornamental Plaster (Appendix A)
- The second floor Men's Room ceiling needs to be painted, as does the baseboard heater. The reason for the peeling paint at the Men's Room ceiling should be determined and, if need be, remediated before it is painted.
- The toilet partitions in both the Men's Room and the Women's Room at the second floor would benefit from a coat of paint.
- The wood flooring at the balcony risers needs refinishing.

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- The balcony railing should be lightly sanded and refinished, and the balustrade needs painting.
- The wood stair to the basement from the main lobby is barely adequate. A new stair to the basement should be built in a location that can provide adequate headroom.
- Woodwork and ceiling need painting in the I.T. /G.I.S office.
- The few water damaged ceiling tiles in the Community Development Office and the Building Inspector's Office should be replaced.

Accessibility

- Each floor, with the exception of the balcony is presently accessible from its own separate exterior entry. Some of the details of the northwest entry vestibule are not fully compliant, such as the handrails and the threshold at the inner doorway. The inner doors are also not in compliance. The stage is accessible from the auditorium level by means of a stair lift. The recommended approach is to install an elevator in the northeast corner of the building that would connect by way of a corridor to the presently accessible first floor entrance on the north side of the building. This would displace the Town Clerk's office, creating the need for some reconfiguration of the offices. The elevator would connect the Basement, First and Second Floors.

This and any related work would be performed in accordance with the recommendations of Preservation Brief 32, Making Historic Properties Accessible (Appendix A)

This work will require further study, and is beyond the scope of this report.

Plumbing & Mechanical (See also Appendix C)

- The sink at the second floor Women's Room that is pulled away from the wall a bit needs to be secured and caulked.
- The damaged return air grille at the face of the stage should be replaced.
- All of the grilles and registers should be cleaned. Ductwork should be inspected to see if cleaning is in order, and if duct filters need changing.

Electrical (See also Appendix C)

- The abandoned fixture above the basement stair should be replaced, removed, or properly capped.
- The light fixtures in the I.T./G.I.S. office should be replaced with parabolic or other indirect type fixtures to reduce screen glare.
- Exterior light fixtures at the east façade should be replaced with fixtures of a larger, more appropriate scale similar to those in the 1996 photo.
- The conduit that feeds the wall packs on the south side of the building should be relocated.

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- The fiber optic and co-ax wiring at the exterior northwest corner of the building should be relocated to the interior of the building for security purposes.

Fire Protection (See also Appendix C)

- The missing escutcheon plates at the first floor meeting room should be replaced.

Theater Equipment

- The stage rigging should be fully inspected by a qualified contractor specializing in theater equipment.
- The lighting controls should be inspected by a qualified lighting controls specialist to recommend possible options for upgrades.
- The sound system should be reviewed by a qualified contractor specializing in audio equipment to recommend possible options for upgrades.
- The torn curtain should be properly patched or replaced.

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Cost Estimate		
	Tasks	Estimate
Site Work		
	Correct drainage at North Side	\$10,000
	Trim Trees South Side	\$1,000
	Repairs brick site walls	\$20,000
	Reset granite steps at east entry	\$15,000
Concrete		
	Parge northwest landscape wall	\$2,000
Masonry		
	Miscellaneous re-pointing, including chimney	\$30,000
	Masonry repairs at northwest addition	\$15,000
	New Chimney Cap	\$3,000
Finish Carpentry		
	Slats for propane tank fence	\$500
	Repair sills at basement window	\$2,000
Thermal & Moisture Protection		
	Miscellaneous caulking	\$4,000
	New slate roof and gutters	\$325,000
Windows & Doors		
	Door repair/replacement	\$30,000
	Door hardware replacement	\$12,000
Finishes		
	Refinish wood flooring at first floor lobby	\$5,000
	Replace wood flooring at second floor	\$65,000
	Replace carpet at basement & first floor	\$20,000
	Interior painting	\$25,000
	Repairs to Auditorium plaster ceiling	\$18,000
	Sub-Total	\$602,500
	General Conditions at %15	\$90,375
		\$692,875
	Contractors Overhead & Profit at %5	\$34,644
		\$727,519
	Estimate Contingency at %10	\$72,000
		\$800,000
Total Estimated Cost		
		\$800,000
Estimate does not include any potential mechanical or electrical costs which is beyond the scope of this report		

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APPENDIX

A

NATIONAL PARK SERVICE PRESERVATION BRIEFS

The following are National Park Service Preservation Briefs that should guide proposed renovation work.

2. Repointing Mortar Joints in Historic Masonry
18. Rehabilitating Interiors in Historic Buildings
23. Preserving Historic Ornamental Plaster
28. Painting Historic Interiors
29. The Repair, Replacement and Maintenance of Historic Slate Roofs
32. Making Historic Properties Accessible
39. Holding the Line: Controlling Unwanted Moisture in Historic Buildings

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APPENDIX

B

**SCT Engineering's Structural Inspection and
Observations**

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APPENDIX

C

**WV Engineering's Mechanical & Electrical Inspection
and Observations**